

BCA COMPLIANCE REPORT

PROJECT NUMBER: 220223

DATE: 4 July 2022

PROJECT DETAILS: Suburb Thredbo Lot 768 DP1119757

CLIENT: Le Hunte Properties

REPORT REVISION: 4

BCA CERTIFIERS AUSTRALIA PTY LTD

ACT COLA LIC NUMBER: [200714](#)

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REVISION HISTORY

REVISION	DATE	REVISION INFORMATION	PREPARED BY	REVIEWED BY
4	4.07.22	<p>This 'high level' BCA assessment has been undertaken against the preliminary architectural plans for the following purpose:</p> <ul style="list-style-type: none"> • Identification of key building characteristics, • Identification of areas of major non-compliance for the design teams review and return comment. 	Brent Skaines	Ian Anlezark

LIMITATIONS OF THIS REPORT

- This document provides a Building Code of Australia (BCA) compliance assessment of the design documents referenced in appendix A of this report.
- The documents have been assessed to the extent possible, based on the level of design development at the time of this assessment.
- Where necessary documentation has not been provided or are not available at the time of this assessment, comments may not have been made.
- It is expected that appropriately qualified design consultants will be engaged to provide detailed design documentation including but not limited to, Design Certification, Drawings and specifications, for their specific discipline.
- Generally, this assessment will not detail requirements of the BCA referenced Australian Standards. It is expected that the relevant design consultant will advise where their proposed designs do not achieve absolute compliance with the relevant Australian Standards.
- The assessment does not consider the provisions of the Disabilities Discrimination Act 1992, which exceed the documents listed in the Building Code of Australia, in this regard we recommend that a separate report is prepared by an accredited Access Consultant.
- The assessment does not consider the requirements of other legislation i.e. Occupational Health and Safety, Safety in Design, Workplace Health and Safety etc.
- The contents of this report are project specific and must not be used as a basis for other projects.
- This report is for the strict use of our client and must not be relied on by third parties.

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1. SUMMARY

BCA Certifiers Australia Pty Ltd, have been engaged by Le Hunte Properties to undertake a BCA compliance assessment of the project known as Thredbo – Lot 768. The report has been undertaken using the Deemed-to-Satisfy provisions of the relevant sections of the NCC 2019 Building Code of Australia - Volume One Amendment 1.

We point out this is very much a preliminary review and we look forward to providing a thorough BCA report when design drawings permit. We request all design consultants advise of any departures from BCA and referenced standards so that we can give consideration to the appropriate pathway for demonstrating compliance with NCC 2019 Building Code of Australia - Volume One Amendment 1.

2. PROJECT DETAILS

ITEM	DESCRIPTION
Client Details	Le Hunte Properties Mr. David Harper 0418 623 880 d.harper@lehunte.com.au
Site Details	Suburb Thredbo Lot 768 DP1119757
Street Address	5 Diggings Terrace Thredbo NSW 2625
Brief Description of Project	The development consists of a tourist accommodation building containing 16 sole-occupancy units, restaurant/bar, lounge/bar, wellness facilities, common spaces and carparking and 5 detached tourist accommodation lodges.



3. KEY APPLICABLE LEGISLATION

TYPE OF LEGISLATION	DESCRIPTION
Planning and Building Legislation	Environmental Planning and Assessment Act 1979 No 203 Environmental Planning and Assessment Regulation 2021 State Environmental Planning Policy (Precincts—Regional) 2021 Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021
Applicable Building Code of Australia	NCC 2019 Building Code of Australia - Volume One Amendment 1 and Referenced Australian Standards. On the 1st September 2022, the BCA 2022 will take effect. This is a major revision of the BCA and will likely have some implications that will affect this building. BCA Certifiers will advise of the final changes and possible implications as soon as the final version is released by the Australia Building Codes Board. In NSW, it is the date the construction certificate application is lodged, which determines the BCA which is applicable. Therefore, if the construction certificate application is not lodged by the 31 August 2022, the BCA 2022 will apply.

4. BUILDING CLASSIFICATION

The following assessment data has been drawn from the provisions of BCA 2019 Amendment 1: The significant spaces in the proposed design have been classified in accordance with the requirements of Clause A6 of the BCA and are summarised in the table below:

MAIN BUILDING

STOREY	USE OF SPACE	BCA CLASSIFICATION
Ground Floor	Carparking, Storage, reception and entrance	Class 3, 7a and 7b
Mezzanine	Residential Sole-occupancy units, staff room, storage, carparking, pump room	Class 3, 7a, 7b and 8
Level 1	Restaurant, bar, function room, gym, wellness facilities Spas and laundry/store room	Class 6, 9b, 10b
Level 2	Residential Sole-occupancy units	Class 3
Level 3	Residential Sole-occupancy units	Class 3

DETACHED LODGES

STOREY	USE OF SPACE	BCA CLASSIFICATION
Ground Floor	Residential Sole-occupancy units and hot tubs	Class 3 and 10b
Level 1	Residential Sole-occupancy units and attached balcony	Class 3
Level 2	Residential Sole-occupancy units	Class 3

5. BUILDING CHARACTERISTICS

The building characteristics required for the proposed design is summarised in the table below.

ITEM	MAIN BUILDING BCA REQUIREMENT	DETACHED DWELLINGS BCA REQUIREMENT
Building Importance Level	2 (Structural engineer to confirm)	
Number of storeys contained	5	3
Rise in storeys	5	3
Type of construction required	Type A	
Effective height	14.7m Approx	6.7m Approx
Climate Zone	8 (Thredbo)	

6. REQUIRED FIRE SAFETY MEASURES

The following items must be incorporated into the detailed design.

MAIN BUILDING

MEASURES	STANDARD OF PERFORMANCE
Fire hydrant systems	BCA 2019 Amendment 1 Clause E1.3, G4.8 and AS2419.1 – 2005.
Hose reel system (Throughout the whole building,)	BCA 2019 Amendment 1 Clause E1.4, G4.8 and AS2441 – 2005.
Automatic fire suppression system (Sprinklers) (Throughout the whole building,)	BCA 2019 Amendment 1 Specification E1.5 and AS2118.1 – 2017. <u>Note: compliance with Specification C1.5 clause 11, if FRL concessions are proposed in the carparks. Fire Contractor and Structural Engineer to confirm compliance.</u>
Portable fire extinguishers	BCA 2019 Amendment 1 Clause E1.6 and AS2444 – 2001.
Fire Indicator Panel	BCA 2019 Amendment 1 Clause E2.2a, AS1670.1-2018.
Fire Safety Precautions <u>during construction</u>	BCA 2019 Amendment 1 Clause E1.9.
Smoke Alarms within residential units. (Hard wired and interconnected where multiple alarms are installed)	BCA 2019 Amendment 1 Table E2.2a, AS3786-2014.
Automatic fire detection and alarm system throughout whole building in public spaces/corridors to operate	BCA 2019 Amendment 1 Table E2.2a, Specification E2.2a, AS1668.1 – 2015 and AS1670.1-2018.

smoke control, commercial spaces, stair pressurisation / carpark ventilation etc.	
Building Occupancy Warning System activated by the sprinkler system / smoke detection	BCA 2019 Amendment 1 Specification E2.2a, E1.5, AS1670.1 – 2018, and AS2118.1 – 2017.
Manually Operated Fire Alarm System with call-points	BCA 2019 Amendment 1 Clause G4.8 and AS1670.1 – 2018.
Mechanical air handling system throughout all areas including the basements and commercial spaces and common areas.	BCA 2019 Amendment 1 Clause E2.2 and AS1668.1 – 2015.
Passenger Lift (with stretcher facilities fire service controls)	BCA 2019 Amendment 1 Clause C3.10, E3.1, E3.2, E3.7 and AS1735.12-1999.
Emergency lighting	BCA 2019 Amendment 1 Clause E4.2, E4.4, G4.4 and AS2293.1 – 2018
Exit signage	BCA 2019 Amendment 1 Clause E4.5, E4.7, E4.8 and AS2293.1 – 2018
Emergency Warning and Intercom System	BCA 2019 Amendment 1 Clause E4.9, G4.4 and AS1670.4 – 2018
Fire dampers	BCA 2019 Amendment 1 Clause C3.4, C3.12, C3.15 and AS1668.1 – 2015 (AS1682.1-1990 and AS1682.2-1990)
Fire doors	BCA 2019 Amendment 1 Clauses C3.8, C3.11 and AS 1905.1 – 2015, AS1530.4-2014
Fire rated walls	BCA 2019 Amendment 1 Clauses C1.8 and C3.11, Specification C1.1.
Fire orders	BCA 2019 Amendment 1 Clause G4.9
Fire seals protecting opening in fire resisting components of the building	BCA 2019 Amendment 1 Clause C3.15, Specification C3.15 and AS1530.4 –2014 and AS4072.1 – 2005 and installed in accordance with the tested prototype.
Smoke rated walls	BCA 2019 Amendment 1 Clause C2.5, C2.14.
Smoke doors	BCA 2019 Amendment 1 Specifications C2.5 and C3.4.
Smoke Reservoirs	400mm Smoke Reservoirs are required to be provided to all doorways in fire and smoke walls in accordance with Specification C2.5.
Warning and operational signs	BCA 2019 Amendment 1 Clauses D1.17, D2.23, D3.6, E3.3, E3.9, E3.10, G4.3 and Specifications D1.12, E3.1
External wall system (including all elements within) must be non-combustible	BCA 2019 Amendment 1 Clause C1.9, AS1530.1 – 1994.

DETACHED LODGES

MEASURES	STANDARD OF PERFORMANCE
Fire Safety Precautions during construction	BCA 2019 Amendment 1 Clause E1.9.
Fire hydrant systems	BCA 2019 Amendment 1 Clause E1.3(b), G4.8 and AS2419.1 – 2005.
Smoke Alarms within residential units. (Hard wired and interconnected where multiple alarms are installed)	BCA 2019 Amendment 1 Table E2.2a, AS3786 – 2014.
Manually Operated Fire Alarm System with call-points	BCA 2019 Amendment 1 Clause G4.8 and AS1670.1 – 2018.
Emergency lighting	BCA 2019 Amendment 1 Clause E4.4, G4.4 and AS2293.1 – 2018
Fire dampers	BCA 2019 Amendment 1 Clause C3.4 and AS1668.1 – 2015 (AS1682.1-1990 and AS1682.2-1990)
Fire rated walls	BCA 2019 Amendment 1 Clauses C1.8 and Specification.C1.1.
Fire orders	BCA 2019 Amendment 1 Clause G4.9
Warning and operational signs	BCA 2019 Amendment 1 Clauses G4.3
External wall system (including all elements within) must be non-combustible	BCA 2019 Amendment 1 Clause C1.9, AS1530.1-1994.

7. NOMINATED FIRE COMPARTMENTS

A detailed fire compartment plan is to be provided to assess compliance

MAIN BUILDING

COMPARTMENT	APPROX AREA (M2)	APPROX VOLUME (M3)	COMPLIANT OR NOT COMPLIANT
Ground Floor	388m2 72m2 31m2	1164m3 345m3 75m3	Compliant
Mezzanine	87m2 58m2 520m2	208m3 140m3 1846m3	Compliant
Level 1	231 1,000m2	850m3 3,650m3	Compliant

8. POPULATION GENERATION AND EXIT WIDTHS.

The following table determines the expected population density and egress requirements of the various areas within the building.

MAIN BUILDING

STOREY / COMPARTMENT	APPROX AREA (M2)	POPULATION NUMBER (TOTAL)	EXIT WIDTH REQUIRED	NUMBER OF EXITS REQUIRED
Ground floor	400m2	<100	1m	1
Mezzanine	632m2	<100	1m	1
Level 1	800m2	590	5m	2
Level 2	NA	<100	1m	1
Level 3	NA	<100	1m	1

Supporting documentation on population numbers for level 1 can be provided to assist with the assessment to justify lowering the population numbers. Owner's details on the capacity and operation of these areas, development consent conditions and/or Liquor licensing may set out and assist with the assessment of the population numbers and required exit widths.

9. TOILET FACILITIES.

The following table provides a total number of

MAIN BUILDING – Level 1

TOTAL OCCUPANT NUMBERS	GENDER	GENDER NUMBERS (50/50 RATIO)	TOILET PANS	URINALS	WASH BASINS
STAFF	Male	10	1	0	1
	Female	10	1	NA	1
PATRONS	Male	288	2	6	3
	Female	288	7	NA	3

Supporting documentation as requested above in population generation and exit widths will assist with the assessment of toilet facilities and may decrease to number of sanitary facilities required.

Details on staff numbers are to be provided to assist with the assessment to calculate required sanitary facilities.

10. DESIGN ITEMS TO BE ADDRESSED

The following key items require final clarification from the design team, by discipline.

Note 1: It is the responsibility of all consultants to design strictly within the scope of their relevant Australian standards or relevant sections of the BCA 2019 amendment 1. Anything that does not strictly comply with these requirements, must be presented to BCA Certifiers as a performance solution for consideration.

Note 2: Any design which is proposed to use a performance-based solution, must undergo a 'Performance Based Design Brief' with all relevant stakeholders, prior to the solution being development. This requirement came into effect on 1 July 2021.

Note 3: Further design items to be addressed may be identified during the full assessment of the projects consultant's drawings and reports.

MAIN BUILDING

Fire Safety Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
1.	BCA Clause D1.4	Current Egress distances in the following areas exceed the DTS provisions: Mezzanine Level: Staff Room <ul style="list-style-type: none"> Distance to first available exit is 23m in lieu of 20m. Level 1: Treatment Room, gym and change room <ul style="list-style-type: none"> Distance to first available exit is 27m in lieu of 20m. Level 2: Common open balcony area Design team and fire engineer to discuss and review travel distances.
2.	BCA Clause D1.6	Dimension of exits and paths of travel to exits on level 1 must comply with D1.6. Supporting documentation on population numbers (Owner's details on the capacity and operation of these areas, development consent conditions and/or Liquor licensing) may set out and assist with the assessment of the population numbers and required exit widths.
3.	BCA Clause C1.9	Building elements detailed in clause C1.9 are to be non-combustible. Discussion with and review by fire engineer required
4.	BCA Clause C2.14	The public corridor serving the Class 3 sole-occupancy units on level 3, must be divided at intervals of not more than 40m with smoke-proof walls complying with Clause 2 of Specification C2.5. Corridor and open stairs on level 3 that go down to level 2 is approximately 57m. Discussion with Fire Engineer required.
5.	BCA Clause D1.8	External stairways proposed to be used as a required exits must be non-combustible throughout; and be protected in accordance with Clause D1.8(c).
6.	BCA Clause D2.20	A swinging door in a required exit must swing in the direction of egress unless:

		<ul style="list-style-type: none"> it serves a building or part with a floor area not more than 200 m², it is the only required exit from the building or part and it is fitted with a device for holding it in the open position; or it serves a sanitary compartment or airlock (in which case it may swing in either direction). <p>External doors of the building that are in a required exit must be protected so that they are not subject to the build-up of snow.</p>
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Construction in Alpine Areas:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
7.	BCA Clause G4.3 External doors	<p>External doors of the building which may be subject to the build-up of snow must—</p> <ul style="list-style-type: none"> (a) open inwards or slide; and (b) if inward opening, be marked “OPEN INWARDS” on the inside face of the door in letters not less than 75 mm high in a colour contrasting with that of the background; and (c) be constructed so that the threshold is not less than 900 mm above the adjoining surface; and (d) if it serves a corridor or stairway, be positioned in an alcove or recess with— <ul style="list-style-type: none"> (i) no horizontal dimensions of the alcove or recess less than twice the width of the door; and (ii) the door positioned to open against a wall such that the distance from any part of its swing to the nearest point of entry of the stairway or corridor is not less than the width of the door.
8.	BCA Clause G4.4 Emergency lighting	<p>A system of emergency lighting must be installed in the building in accordance with the Deemed-to-Satisfy Provisions of Part E4—</p> <ul style="list-style-type: none"> (a) in every stairway (other than those within a sole-occupancy unit in a Class 2 or 3 building or Class 4 part of a building); and (b) in every public corridor or the like leading to an exit; and (c) externally above every doorway opening to a road or open space; and (d) in any storey of the building if illumination sufficient for safe egress will not be available under conditions of emergency.
9.	BCA Clause G4.5 External trafficable structures	<p>External stairways, ramps, access bridges or other trafficable structures serving the building must—</p> <ul style="list-style-type: none"> (a) have a floor surface that consists of expanded mesh if it is used as a means of egress; and (b) have any required barrier designed so that its sides are not less than 75% open; and (c) for a stairway have, goings (G), risers (R) and slope relationship quantity (2R + G) in accordance with— <ul style="list-style-type: none"> (i) Table D2.13; or (ii) Table G4.5; and

		<p>(d) for a ramp serving as an exit and not serving as an accessible ramp, have a gradient not steeper than 1:12; and</p> <p>(e) where a ramp is also serving as an accessible ramp under Part D3, be in accordance with AS 1428.1.</p> <p>Table G4.5 Alternate stair riser and going dimensions (mm)</p> <table><tr><th colspan="2">Riser (R)</th><th colspan="2">Going (G)</th><th colspan="2">Slope relationship (2R + G)</th></tr><tr><th>Max</th><th>Min</th><th>Max</th><th>Min</th><th>Max</th><th>Min</th></tr><tr><td>150</td><td>115</td><td>375</td><td>355</td><td>675</td><td>605</td></tr></table>	Riser (R)		Going (G)		Slope relationship (2R + G)		Max	Min	Max	Min	Max	Min	150	115	375	355	675	605
Riser (R)		Going (G)		Slope relationship (2R + G)																
Max	Min	Max	Min	Max	Min															
150	115	375	355	675	605															
10.	BCA Clause G4.6 Clear space around buildings	<p>The building must be so constructed that—</p> <p>(a) if any part of an external wall is more than 3.6 m above the natural ground level — the distance of that part from a boundary other than a road alignment is not less than 2.5 m plus an additional 100 mm for each 300 mm or part by which that part of the wall exceeds a height of 3.6 m; and</p> <p>(b) if an exit doorway discharges into a court between wings of a building and that area may be used for vehicle access to the building, the distance between wings must be not less than 4 m; and</p> <p>(c) where an exit doorway discharges opposite a feature that could entrap snow or an embankment that is more than 900 mm above the threshold of the doorway, a distance of not less than 4 m must be provided between the doorway and the feature.</p>																		
11.	BCA Clause G4.8 Fire-fighting services and equipment	<p>The building must have—</p> <p>(i) a manually operated fire alarm system with call-points complying with AS 1670.1; and</p> <p>(ii) fire hydrants installed in accordance with E1.3(b); and</p> <p>(iii) fire hose reels installed in accordance with E1.4(b) to (g), except that—</p> <p>(A) in a Class 2 or 3 building—</p> <p>(aa) for the purpose of E1.4(b), a sole-occupancy unit is considered to be a fire compartment; and</p> <p>(bb) for the purpose of E1.4(c)(ii), a sole-occupancy unit may be served by a single fire hose reel located at the level of egress from that sole-occupancy unit; and</p> <p>(cc) for the purpose of E1.4(f), a fire hose may pass through a doorway in bounding construction referred to in C3.11.</p>																		
12.	BCA Clause G4.9 Fire orders	<p>The Class 3 parts of the building must display a notice clearly marked “FIRE ORDERS” in suitable locations near the main entrance and on each storey, explaining—</p> <p>(a) the method of operation of the fire alarm system and the location of all call-points; and</p> <p>(b) the location and methods of operation of all fire-fighting equipment; and</p> <p>(c) the location of all exits; and</p> <p>(d) the procedure for evacuation of the building.</p>																		

Construction in Bushfire Prone Area:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
13.	BCA Clause NSW G5.2 Protection	<p>The building must comply with the following—</p> <p>(a) AS 3959 except—</p> <p>(i) as amended by Planning for Bush Fire Protection; and</p> <p>(ii) for Section 9 Construction for Bushfire Attack Level FZ (BAL-FZ). Buildings subject to BAL-FZ must comply with specific conditions of development consent for construction at this level; or</p> <p>(b) the requirements of (a) above as modified by the development consent following consultation with the NSW Rural Fire Service under section 4.14 of the Environmental Planning and Assessment Act 1979 if required; or</p> <p>(c) the requirements of (a) above as modified by development consent with a bushfire safety authority issued under section 100B of the Rural Fires Act 1997 for the purposes of integrated development.</p> <p>A bushfire assessment report has been provided and identified the bushfire attack level as BAL 29.</p> <p>A full assessment will be carried out upon receiving the development consent.</p>

Structural Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
14.	BCA Clause B1.2	Structural engineer to confirm the building is proposed to be designed to an importance level 2, 3, 4. Discussion required.
15.	BCA Clause C1.1 and Spec C1.1 and clause D2.12	<p>Structural engineer to confirm that the building structural fire ratings comply with the requirements of the BCA.</p> <p>Structural engineer must advise if the carpark design is proposed to utilise the concessions specified in clause 3.10 of spec C1.1 of the BCA for FRL reductions. This may have impacts on other elements of the design, such as:</p> <p>Situations where an exit may discharge onto the ground floor slab that requires a min 120/120/120 FRL,</p> <p>Overall sprinkler system design for the carpark levels of the building.</p>

Hydraulic Services Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
16.	BCA Clause F1.1, AS3500.3 - 2018.	Hydraulic Consultant to confirm roof drainage, balcony floor waste and overflows.

Weatherproofing and Facade Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
17.	BCA Clause F1.0, FV1.1	The façade consultant is required to review the proposed external wall construction methodology and provide a performance solution for weatherproofing to satisfy FP1.4 of the BCA OR undertake a Verification Assessment against FV1.1. Note: there are no 'deemed to satisfy' solutions available in volume 1 of the BCA.
18.	BCA Clause F1.5	The façade / weatherproofing consultant is required to review the proposed roof system details. Note: If a concrete slab roof is proposed, it must be addressed via a performance solution, as there is currently no Deemed-to-Satisfy provisions that allow for this construction methodology within the BCA. Further discussion is required with design team.
19.	BCA clause F6.2, C1.9	The façade consultant is required to review the proposed external wall and roof construction methodology with respect to condensation management, non-combustibility. Noting Precast external walls don't typically have a drained cavity, this doesn't comply with the 2019 BCA and onwards. Further discussion is required with design team.

Waterproofing Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
20.	BCA Clause F1.4, AS4654.1&2 – 2012	Detailed review of all proposed details is required for: roof tops, balconies, bathrooms, laundries and basement wall. This includes waterproof membrane material, construction methodologies, compatibility of materials, termination details etc. Note: A workshop is required with consultant, waterproofing contractor, architect and builder.

Accessibility Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
21.	BCA Clause D3, AS1428.1 - 2009	Access consultant is required to review general compliance with AS1428.1-2009 throughout the whole building and common areas around the site. Some key areas requiring consideration are: <ul style="list-style-type: none"> Ground Level <ul style="list-style-type: none"> Carpark area: to and within any level containing accessible carparking spaces Other areas: to be accessible to and within all areas normally used by the occupants Mezzanine Level is required to be accessible to and within all

		<p>areas normally used by the occupants and to and within the 2 accessible sole-occupancy units.</p> <ul style="list-style-type: none"> Level 1 <ul style="list-style-type: none"> is required to be accessible to and within all areas normally used by the occupants. Accessible sanitary facilities. Level 3 <ul style="list-style-type: none"> from the lift and to the entrance doorway of each sole-occupancy unit
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Fire Services Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
22.	BCA Clause E1.5 and AS2118.1 – 2017	Confirm water supply requirements for the project. Further discussion may be required with the project fire safety engineer.
23.	BCA Clause E1.3, AS 2419.1 - 2005	Fire hydrant locations to be detailed on the architectural drawings. Review of locations and coverage required.

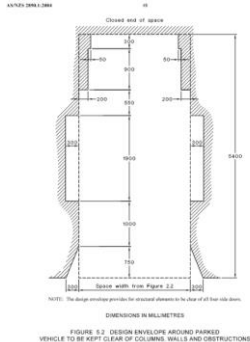
Mechanical Services Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
24.	BCA Clause F4.5	<p>A habitable room, office, shop, factory, workroom, sanitary compartment, bathroom, shower room, laundry and any other room occupied by a person for any purpose must have—</p> <p>(a) natural ventilation complying with F4.6; or</p> <p>(b) a mechanical ventilation or air-conditioning system complying with AS 1668.2</p> <p>Confirm strategy for ventilating the bike store, ski store, corridors/lobby's and rooms on level 1 and ensuites, bathrooms and laundry's in the sole-occupancy units.</p>
25.	BCA Clause C3.15, AS1668.1 - 2015	Provide details of mechanical damper / duct to details satisfy the fire separation requirements of AS1668.1. non-combustible duct should be located on either side of a fire wall to satisfy the concession in AS1668.1, if the damper is not part of a vertical riser.
26.	BCA clause F4.11	<p>The carparks must have:</p> <p>(a) a system of mechanical ventilation complying with AS 1668.2; or</p> <p>(b) a system of natural ventilation complying with Section 4 of AS 1668.4.</p> <p>Mechanical consultant to confirm compliance and provide supporting documentation.</p>

Electrical Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
27.	BCA Clause E4.2 and 4.5	A workshop is required with electrical consultant and fire safety consultant to confirm exit sign and emergency light locations.

Civil Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
28.	AS2890.1	An assessment of all sweep paths, aisle widths and ramp gradients/transitions are required to be undertaken by the civil consultant.
29.	AS2890.1	Ensure 300mm door opening zones are maintained and are free of drainage pipes etc, refer to diagram below. 

Acoustic Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
30.	BCA Part F5	A review is required of all wall / floor systems, party wall junctions into the façade, plumbing services and down pipes as well as any development requirements due to proximity to major roads, etc.

Energy Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
31.	NSW Subsection J(B) Energy Efficiency	The Class 3 areas of the building will require an assessment from the energy consultant.
32.	NSW Subsection J(B) Energy Efficiency	The commercial areas of the building will require an assessment from the energy consultant. Note, a JV3 model may be required.

Vertical Transport / Lift Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
33.	BCA Clause E3.2	lifts for the development are required to be stretcher lifts.

Spas / Steam Room / Sauna Room:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
34.	BCA Clause G1, NSW GP1.2 and NSW G1.1.	Provide Spas manufacturers plans and specifications
35.	BCA Clause G1, NSW GP1.2 and NSW G1.1.	The Spas barriers shall be detailed on the architectural drawings. The Spas barriers must comply with AS 1926 Parts 1 and 2; or Clause 9 of the NSW Swimming Pools Regulation 2018. Note: The spa and associated barrier shall be located and designed so they do not compromise the compliance of the balcony barriers.
36.		Provide plans and specifications for the steam room
37.		Provide plans and specifications for the sauna room

DETACHED LODGES

Fire Safety Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
38.	BCA Clause C1.9	Building elements detailed in clause C1.9 are to be non-combustible. Discussion with and review by fire engineer required

Structural Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
39.	BCA Clause B1.2	Structural engineer to confirm the building is proposed to be designed to an importance level 2. Discussion required.
40.	BCA Clause C1.1 and Spec C1.1 and clause D2.12	Structural engineer to confirm that the building structural fire ratings comply with the requirements of the BCA.

Construction in Alpine Areas:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
41.	BCA Clause G4.3 External doors	External doors of the building which may be subject to the build-up of snow must— (a) open inwards or slide; and (b) if inward opening, be marked “OPEN INWARDS” on the inside face of the door in letters not less than 75 mm high in a colour contrasting with that of the background; and (c) be constructed so that the threshold is not less than 900 mm above the adjoining surface; and (d) if it serves a corridor or stairway, be positioned in an alcove or recess with— (i) no horizontal dimensions of the alcove or recess less than twice the width of the door; and (ii) the door positioned to open against a wall such that the distance from any part of its swing to the nearest point of entry of the stairway or corridor is not less than the width of the door.
42.	BCA Clause G4.4 Emergency lighting	A system of emergency lighting must be installed externally above every doorway opening to a road or open space in accordance with the Deemed-to-Satisfy Provisions of Part E4.
43.	BCA Clause G4.5 External trafficable structures	External stairways, ramps, access bridges or other trafficable structures serving the building must— (a) have a floor surface that consists of expanded mesh if it is used as a means of egress; and (b) have any required barrier designed so that its sides are not less than 75% open; and

		<p>(c) for a stairway have, goings (G), risers (R) and slope relationship quantity (2R + G) in accordance with—</p> <p>(i) Table D2.13; or</p> <p>(ii) Table G4.5; and</p> <p>(d) for a ramp serving as an exit and not serving as an accessible ramp, have a gradient not steeper than 1:12; and</p> <p>(e) where a ramp is also serving as an accessible ramp under Part D3, be in accordance with AS 1428.1.</p> <p>Table G4.5 Alternate stair riser and going dimensions (mm)</p> <table><tr><th colspan="2">Riser (R)</th><th colspan="2">Going (G)</th><th colspan="2">Slope relationship (2R + G)</th></tr><tr><th>Max</th><th>Min</th><th>Max</th><th>Min</th><th>Max</th><th>Min</th></tr><tr><td>150</td><td>115</td><td>375</td><td>355</td><td>675</td><td>605</td></tr></table>	Riser (R)		Going (G)		Slope relationship (2R + G)		Max	Min	Max	Min	Max	Min	150	115	375	355	675	605
Riser (R)		Going (G)		Slope relationship (2R + G)																
Max	Min	Max	Min	Max	Min															
150	115	375	355	675	605															
44.	BCA Clause G4.6 Clear space around buildings	<p>The building must be so constructed that—</p> <p>(a) if any part of an external wall is more than 3.6 m above the natural ground level — the distance of that part from a boundary other than a road alignment is not less than 2.5 m plus an additional 100 mm for each 300 mm or part by which that part of the wall exceeds a height of 3.6 m; and</p> <p>(b) if an exit doorway discharges into a court between wings of a building and that area may be used for vehicle access to the building, the distance between wings must be not less than 4 m; and</p> <p>(c) where an exit doorway discharges opposite a feature that could entrap snow or an embankment that is more than 900 mm above the threshold of the doorway, a distance of not less than 4 m must be provided between the doorway and the feature.</p>																		
45.	BCA Clause G4.8 Fire-fighting services and equipment	<p>The lodges must have:</p> <ul style="list-style-type: none">• a manually operated fire alarm system with call-points complying with AS 1670.1; and• fire hydrants installed in accordance with E1.3(b).																		
46.	BCA Clause G4.9 Fire orders	<p>The Class 3 parts of the building must display a notice clearly marked “FIRE ORDERS” in suitable locations near the main entrance and on each storey, explaining—</p> <p>(a) the method of operation of the fire alarm system and the location of all call-points; and</p> <p>(b) the location and methods of operation of all fire-fighting equipment; and</p> <p>(c) the location of all exits; and</p> <p>(d) the procedure for evacuation of the building.</p>																		

Construction in Bushfire Prone Area:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
47.	BCA Clause NSW G5.2 Protection	<p>The building must comply with the following—</p> <p>(a) AS 3959 except—</p> <p>(i) as amended by Planning for Bush Fire Protection; and</p> <p>(ii) for Section 9 Construction for Bushfire Attack Level FZ (BAL-FZ). Buildings subject to BAL-FZ must comply with specific</p>

		<p>conditions of development consent for construction at this level; or</p> <p>(b) the requirements of (a) above as modified by the development consent following consultation with the NSW Rural Fire Service under section 4.14 of the Environmental Planning and Assessment Act 1979 if required; or</p> <p>(c) the requirements of (a) above as modified by development consent with a bushfire safety authority issued under section 100B of the Rural Fires Act 1997 for the purposes of integrated development.</p> <p>A bushfire assessment report has been provided and identified the bushfire attack level as BAL 29.</p> <p>A full assessment will be carried out upon receiving the development consent.</p>
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Hydraulic Services Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
48.	BCA Clause F1.1, AS3500.3 - 2018.	Hydraulic Consultant to confirm roof drainage, balcony floor waste and overflows.

Weatherproofing and Facade Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
49.	BCA Clause F1.0, FV1.1	<p>The façade consultant is required to review the proposed external wall construction methodology and provide a performance solution for weatherproofing to satisfy FP1.4 of the BCA OR undertake a Verification Assessment against FV1.1.</p> <p>Note: there are no 'deemed to satisfy' solutions available in volume 1 of the BCA.</p>
50.	BCA Clause F1.5	<p>The façade / weatherproofing consultant is required to review the proposed roof system details.</p> <p>Note: If a concrete slab roof is proposed, it must be addressed via a performance solution, as there is currently no Deemed-to-Satisfy provisions that allow for this construction methodology within the BCA. Further discussion is required with design team.</p>
51.	BCA clause F6.2, C1.9	<p>The façade consultant is required to review the proposed external wall and roof construction methodology with respect to condensation management, non-combustibility.</p> <p>Noting Precast external walls don't typically have a drained cavity, this doesn't comply with the 2019 BCA and onwards. Further discussion is required with design team.</p>

Waterproofing Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
52.	BCA Clause F1.4, AS4654.1&2 – 2012	Detailed review of all proposed details is required for: roof tops, balconies, bathrooms, laundries and basement wall. This includes waterproof membrane material, construction methodologies, compatibility of materials, termination details etc. Note: A workshop is required with consultant, waterproofing contractor, architect and builder.

Accessibility Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
53.	BCA Clause D3.1	Where a ramp complying with AS 1428.1 or a passenger lift is installed to the entrance doorway of each sole-occupancy unit located on the levels served by the lift or ramp.

Fire Services Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
54.	BCA Clause E1.3(b), G4.8, AS 2419.1 - 2005	Fire hydrant locations and Fire Brigade Booster Assembly to be detailed on the architectural drawings. Review of locations and coverage required.

Mechanical Services Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
55.	BCA Clause F4.5	A habitable room, office, shop, factory, workroom, sanitary compartment, bathroom, shower room, laundry and any other room occupied by a person for any purpose must have— (a) natural ventilation complying with F4.6; or (b) a mechanical ventilation or air-conditioning system complying with AS 1668.2 Confirm strategy for ventilating the drying rooms, laundry's, steam rooms, water closets and ensuites.

Electrical Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
56.	BCA Clause G4.8	A workshop is required with electrical consultant and fire safety

		consultant to confirm emergency lighting locations, smoke alarms and manually operated fire alarm system with call-points complying with AS 1670.1 and smoke alarms.
--	--	--

Energy Items:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
57.	NSW Subsection J(B) Energy Efficiency	Each lodge will require an assessment from an energy consultant.

Hot Tubs and Steam Rooms:

ITEM	BCA PROVISION / AUSTRALIAN STANDARD	DESCRIPTION
58.	BCA Clause G1, NSW GP1.2 and NSW G1.1.	Provide hot tubs manufacturers plans and specifications
59.	BCA Clause G1, NSW GP1.2 and NSW G1.1.	The hot tub barriers shall be detailed on the architectural drawings. The hot tub barriers must comply with AS 1926 Parts 1 and 2; or Clause 9 of the NSW Swimming Pools Regulation 2018. Note: The spa and associated barrier shall be located and designed so they do not compromise the compliance of the balcony barriers.
60.		Provide plans and specifications for the steam rooms

11. PERFORMANCE SOLUTIONS PROPOSED BY DESIGN TEAM

The following list of performance solutions have been presented to BCA Certifiers for review by the design team.

No performance solutions have been presented to BCA Certifiers. Once the performance solutions have been compiled and presented to BCA Certifiers, BCA Certifiers will carry out an assessment on the proposed performance solutions and supporting documentation.

12. CONSULTANTS REQUIRED FOR THE PROJECT

The following appropriately qualified design consultants are required to be engaged as applicable to the project.


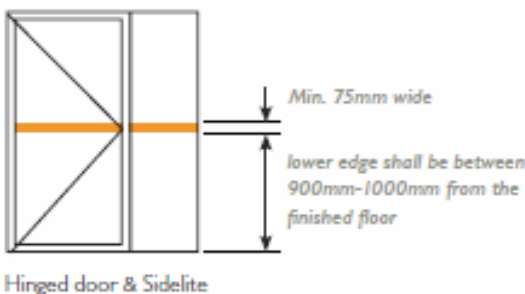
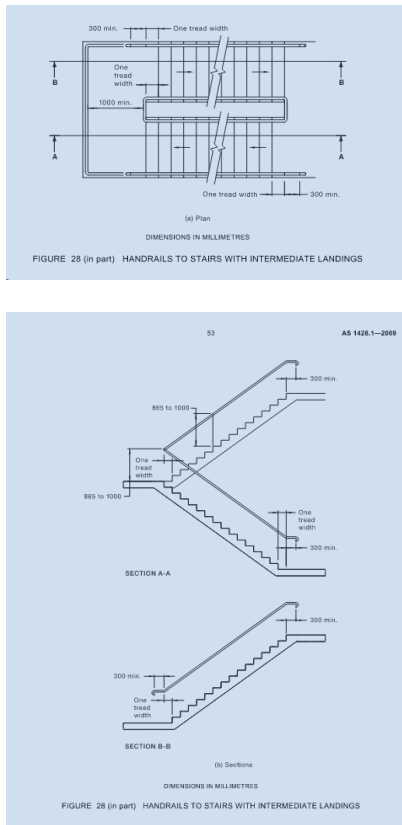
CONSULTANT DISCIPLINE	DOCUMENTATION REQUIRED
Architect	Design certification, architectural drawings / specifications, performance-based design brief / performance solution report as required.
Geotechnical Engineer	Provide geotechnical investigation report.
Structural Engineer	Design certification, structural design drawings / specifications.
Fire Safety Engineer	Design review, performance-based design brief / performance solution report.
Hydraulic Engineer	Design certification, hydraulic design drawings / specifications.
Fire Services Engineer	Design certification, fire service design drawings / specifications.
Civil Engineer	Design certification, civil design drawings / specifications.
Electrical Engineer	Design certification, electrical design drawings / specifications.
Mechanical Engineer	Design certification, mechanical design drawings / specifications, performance-based design brief / performance solution report as required.
Accessibility Consultant	Design review, performance-based design brief and performance solution report as required.
Lift / Vertical Transport Consultant	Design certification, lift design drawings / specifications.
Façade Engineer	Design review, weatherproofing / condensation performance-based design brief / verification and performance solution report.
Waterproofing Consultant	Design review / certification and performance-based design brief and performance solution report as required.
Energy Efficiency Consultant	Design review, DTS OR performance solution brief and report (JV3). Energy efficiency reports for residential buildings and a summary statement confirming the building complies with the minimum and average EER ratings.
Acoustic Engineer	Design review, specifications, onsite testing and certification of systems.
Heritage Consultant	Design review and report.
Landscape Architect	Design certification, Landscape architectural drawings / specifications.
Town Planner	Development approval submission report.

13. FIRE RESISTANCE LEVEL TABLE APPLICABLE TO BUILDING

Table 3 Type A construction: FRL of building elements

Building element	Class of building — FRL: (in minutes) <i>Structural adequacy/Integrity/Insulation</i>			
	2, 3 or 4 part	5, 7a or 9	6	7b or 8
EXTERNAL WALL (including any column and other building element incorporated within it) or other external building element, where the distance from any <i>fire-source feature</i> to which it is exposed is—				
For <i>loadbearing</i> parts—				
less than 1.5 m	90/ 90/ 90	120/120/120	180/180/180	240/240/240
1.5 to less than 3 m	90/ 60/ 60	120/ 90/ 90	180/180/120	240/240/180
3 m or more	90/ 60/ 30	120/ 60/ 30	180/120/ 90	240/180/ 90
For non- <i>loadbearing</i> parts—				
less than 1.5 m	—/ 90/ 90	—/120/120	—/180/180	—/240/240
1.5 to less than 3 m	—/ 60/ 60	—/ 90/ 90	—/180/120	—/240/180
3 m or more	—/—/—	—/—/—	—/—/—	—/—/—
EXTERNAL COLUMN not incorporated in an <i>external wall</i> —				
For <i>loadbearing</i> columns—	90/—/—	120/—/—	180/—/—	240/—/—
For non- <i>loadbearing</i> columns—	—/—/—	—/—/—	—/—/—	—/—/—
COMMON WALLS and FIRE WALLS—	90/ 90/ 90	120/120/120	180/180/180	240/240/240
INTERNAL WALLS—				
<i>Fire-resisting</i> lift and stair <i>shafts</i> —				
<i>Loadbearing</i>	90/ 90/ 90	120/120/120	180/120/120	240/120/120
Non- <i>loadbearing</i>	—/ 90/ 90	—/120/120	—/120/120	—/120/120
Bounding <i>public corridors</i> , public lobbies and the like—				
<i>Loadbearing</i>	90/ 90/ 90	120/—/—	180/—/—	240/—/—
Non- <i>loadbearing</i>	—/ 60/ 60	—/—/—	—/—/—	—/—/—
Between or bounding <i>sole-occupancy units</i> —				
<i>Loadbearing</i>	90/ 90/ 90	120/—/—	180/—/—	240/—/—
Non- <i>loadbearing</i>	—/ 60/ 60	—/—/—	—/—/—	—/—/—
Ventilating, pipe, garbage, and like <i>shafts</i> not used for the discharge of hot products of combustion—				
<i>Loadbearing</i>	90/ 90/ 90	120/ 90/ 90	180/120/120	240/120/120
Non- <i>loadbearing</i>	—/ 90/ 90	—/ 90/ 90	—/120/120	—/120/120
OTHER LOADBEARING INTERNAL WALLS, INTERNAL BEAMS, TRUSSES and COLUMNS—				
	90/—/—	120/—/—	180/—/—	240/—/—
FLOORS	90/ 90/ 90	120/120/120	180/180/180	240/240/240
	2, 3 or 4 part	5, 7a or 9	6	7b or 8
ROOFS	90/ 60/ 30	120/ 60/ 30	180/ 60/ 30	240/ 90/ 60

14. EXAMPLES OF COMMON COMPLIANCE ISSUES

ITEM	EXAMPLE
Accessible signage	
Decals / Glazing identification	 <p>Hinged door & Sidelite</p>
Off Set Stair Requirements	 <p>FIGURE 28 (in part) HANDRAILS TO STAIRS WITH INTERMEDIATE LANDINGS</p> <p>AS 1428.1-2009</p> <p>FIGURE 28 (in part) HANDRAILS TO STAIRS WITH INTERMEDIATE LANDINGS</p>

15. APPENDIX A – LIST OF DOCUMENTATION REVIEWED

Architectural Drawings:

- DKO Architecture (NSW) Pty Ltd - Project No. 12656

Revision	Title	Revised
A	DA100_Site Analysis	2022-07-01
B	DA_Height Plane Diagram	2022-05-14
B	DA_Site Coverage Diagram	2022-05-14
B	DA101_Site Plan	2022-07-01
B	DA000_Cover Page	2022-07-01
C	DA400_Shadow Diagrams	2022-07-01
E	DA302_Elevations Sheet 3	2022-07-01
E	DA300_Elevations Sheet 1	2022-07-01
E	DA301_Elevations Sheet 2	2022-07-01
G	DA208_Typical Unit Plans	2022-07-01
H	DA303_Sections Sheet 1	2022-07-01
H	DA305_Sections Sheet 3	2022-07-01
H	DA304_Sections Sheet 2	2022-07-01
K	DA201_Mezzanine Plan	2022-07-01
K	DA206_Level 5 Plan	2022-07-01
K	DA200_Ground Floor Plan	2022-07-01
K	DA207_Roof Plan	2022-07-01
K	DA202_Level 1 Plan	2022-07-01
K	DA205_Level 4 Plan	2022-07-01
K	DA204_Level 3 Plan	2022-07-01
K	DA203_Level 2 Plan	2022-07-01

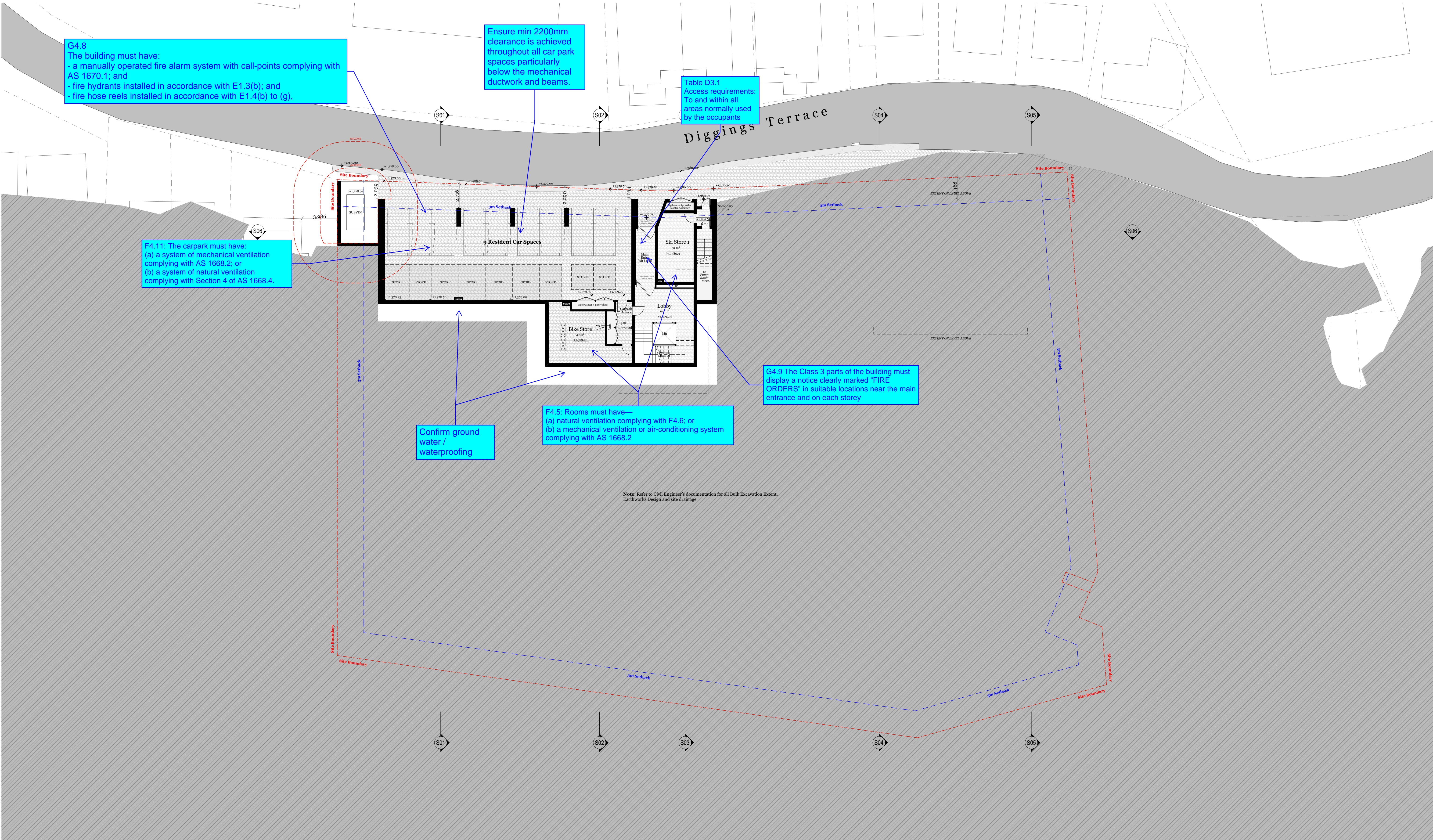
Geotechnical Report:

- ACT Geotechnical Engineers Pty Ltd - Report Ref. OB/C12365 – Date 2/11/2021

Bushfire Assessment Report:

- GHD Pty Ltd – Project Number 12580298 – Revision 0 – Date 23/05/2022

16. APPENDIX B – MARKED UP DRAWINGS

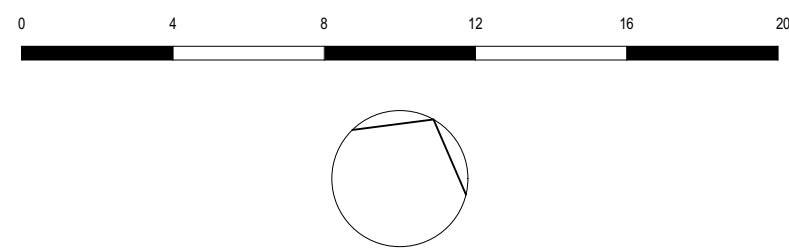


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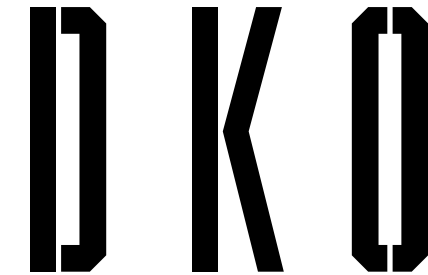
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H	16/06/2022	NT	MR	For CGI Coordination
I	17/06/2022	NT	MR	For DA Coordination
J	28/06/2022	NT	MR	Draft DA
K	1/07/2022	NT	MR/SO	Draft DA

NOTES
ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY & STATUTORY APPROVALS.
ALL BOUNDARY INFORMATION TO BE CONFIRMED BY REGISTERED SURVEYOR
BEFORE COMMENCING WORKS ON SITE.
REFER TO SITE SURVEY FOR ALL INFORMATION RELATING TO EXISTING SITE
CONDITIONS.
REFER TO LANDSCAPE ARCHITECT'S DOCUMENTATION & ARBORIST REPORTS FOR
ALL INFORMATION RELATING TO TREES AND THEIR RETENTION/REMOVAL

AND NEW LANDSCAPE WORKS.
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
- ALL SPECIFICATIONS & SCHEDULES
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- BASIX, NATHERS & SECTION J CERTIFICATES
MINOR CHANGES TO FORM & CONFIGURATION MAY BE REQUIRED AFTER
DEVELOPMENT CONSENT WHEN DRAWINGS ARE PREPARED FOR CONSTRUCTION
PURPOSES.

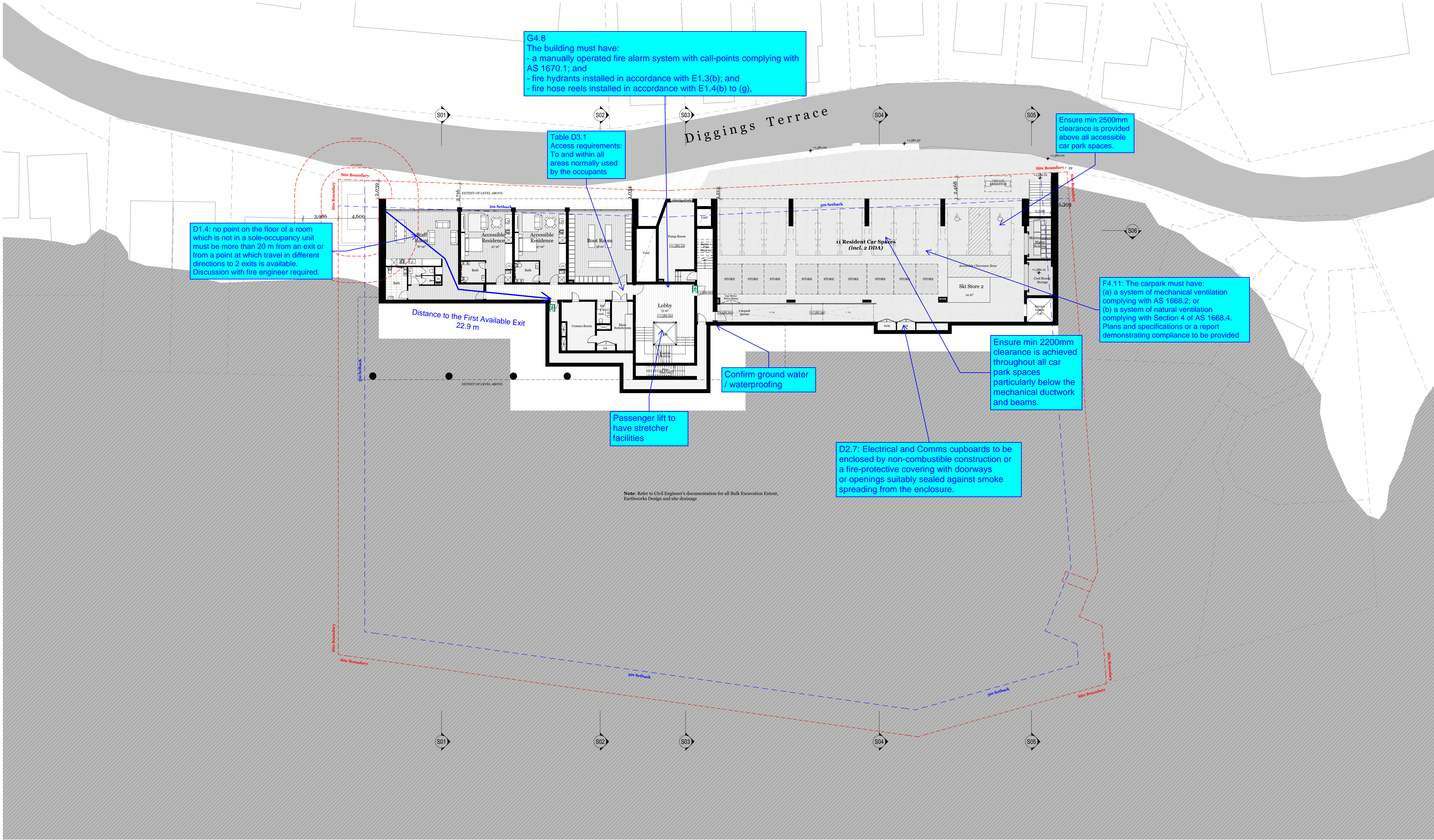


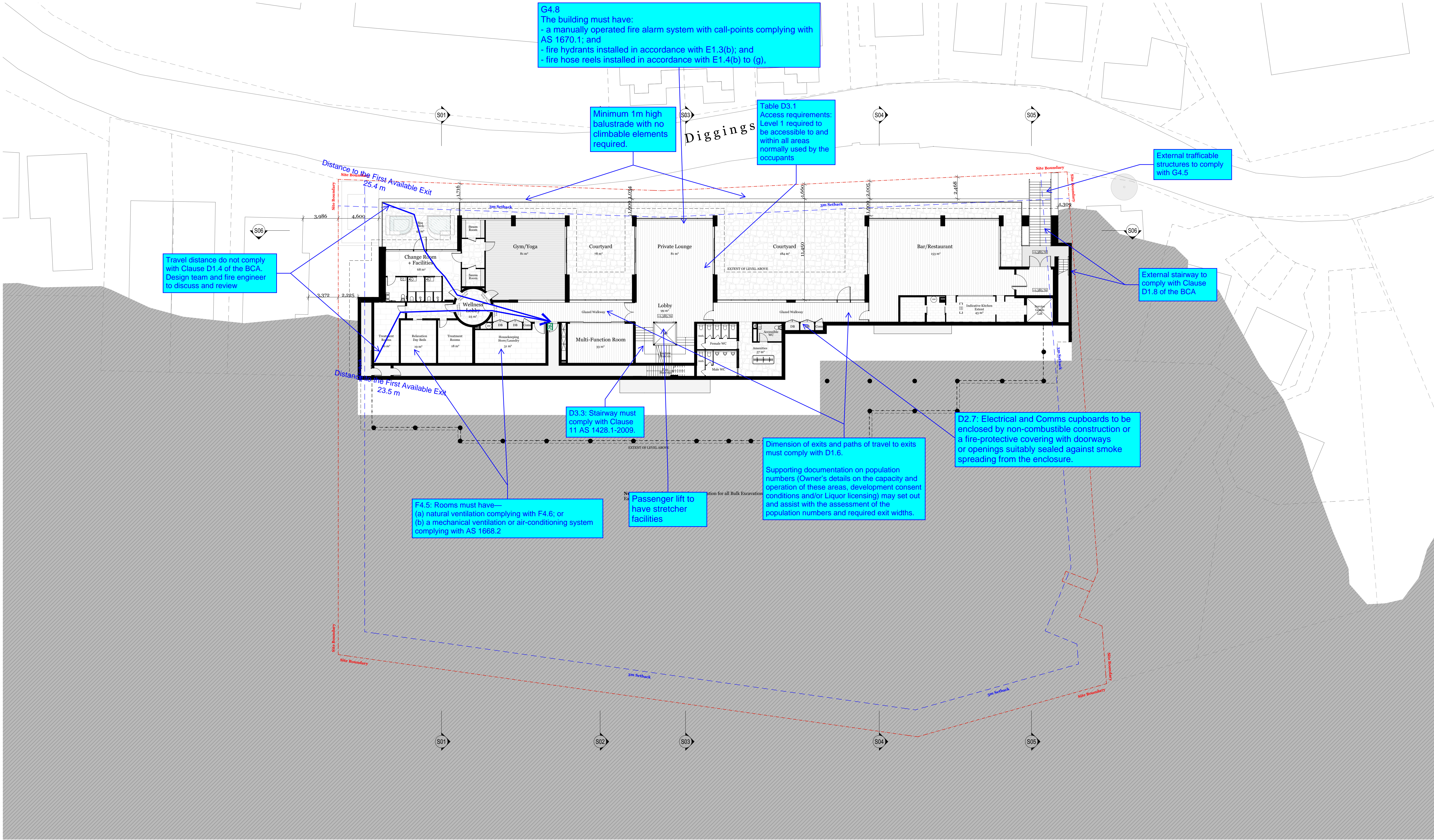
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ABN: 81956704690
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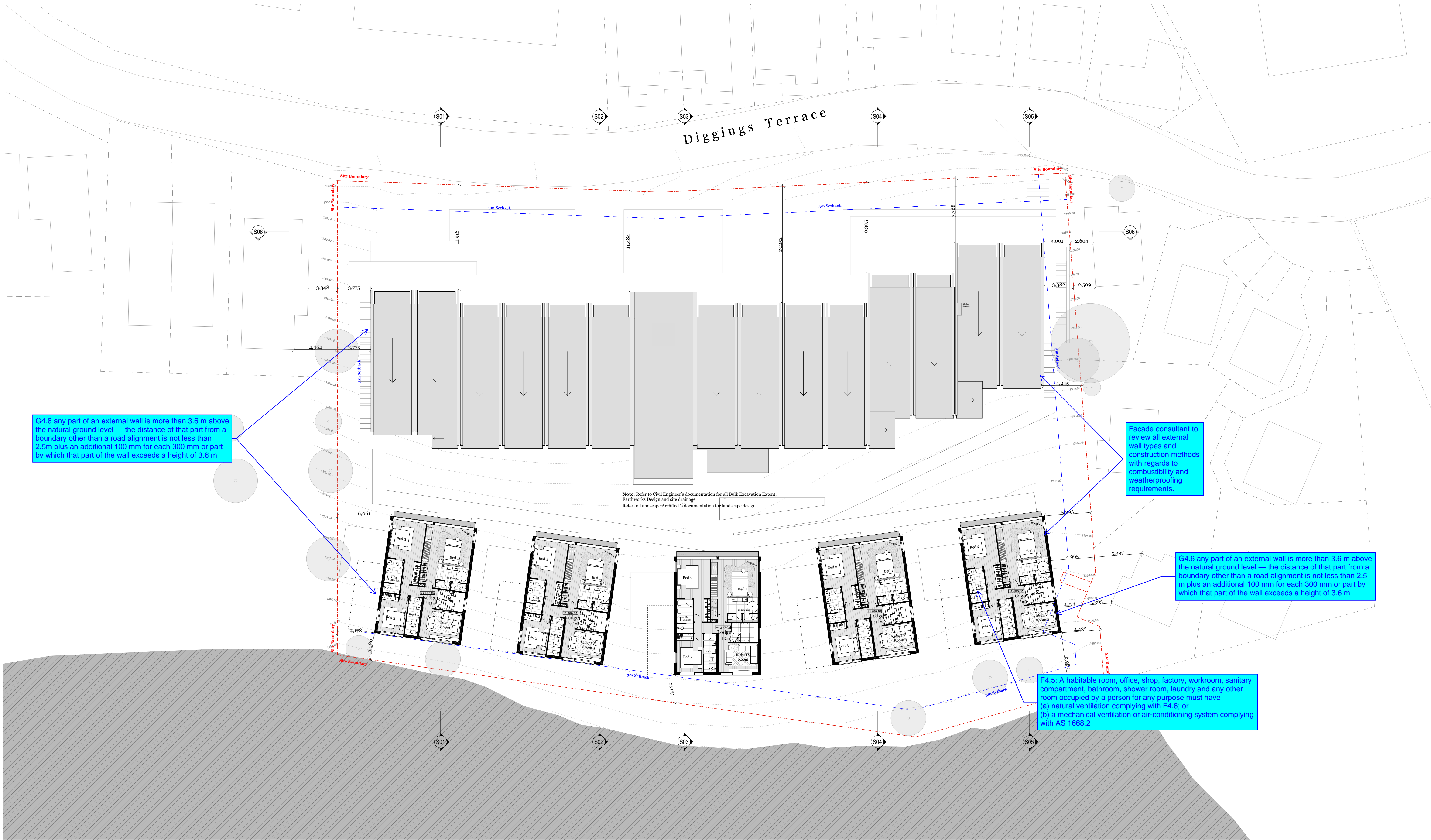


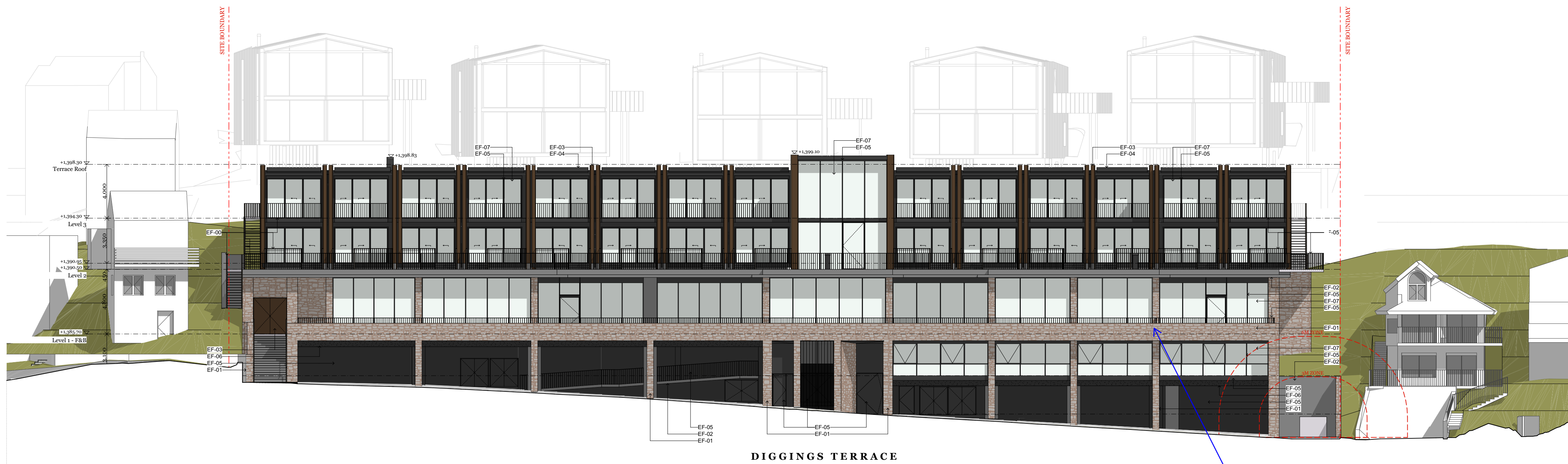
Project Name	Thredbo - Lot 768
Project Address	Diggings Terrace, Thredbo, NSW 2625
Client	Le Hunte Properties

Project Number	12656
Drawing Name	Ground Floor Plan
Scale	1:200 @ A1
Date	June 2022
Drawing Number	DA200
Revision	K



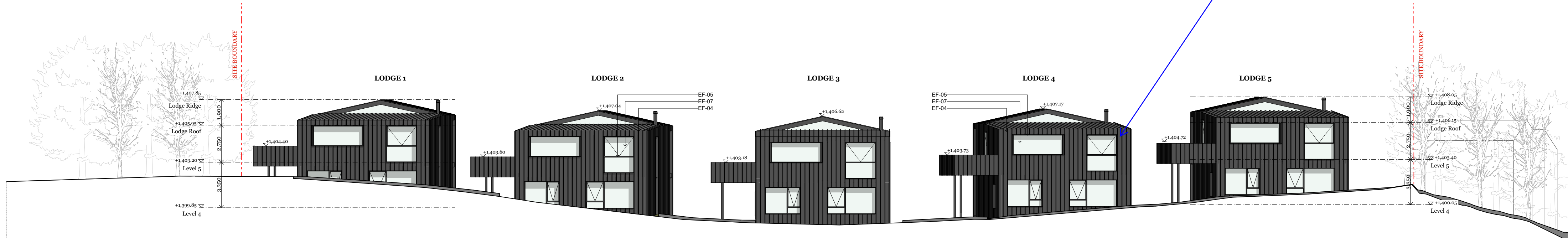






NORTH ELEVATION

Facade consultant to review all external wall types and construction methods with regards to combustibility and weatherproofing requirements.



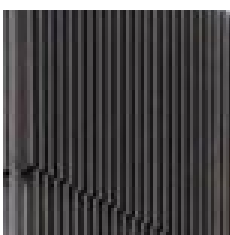
SOUTH ELEVATION



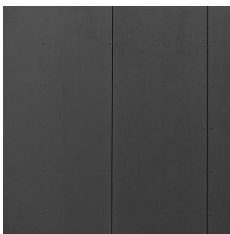
EF-01
Stone
Grey colour or similar



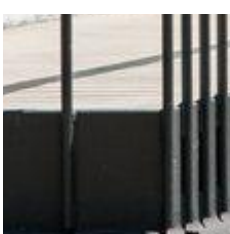
EF-02
Off Form Concrete



EF-03
Metal
Matte dark bronze
colour or similar



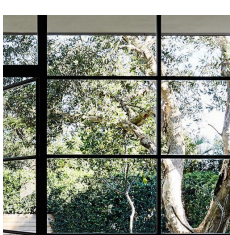
EF-04
Metal
Matte dark grey or
similar



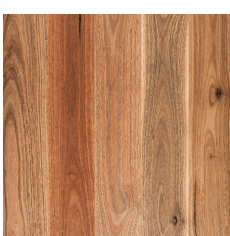
EF-05
Metal
Matte black colour or
similar



EF-06
Perforated Metal
Matte black colour or
similar



EF-07
Clear glazing



EF-08
Timber

Rev.	Date	By	Ckd	Description
A	14/05/2022	NT	MR/SO	For DA Coordination
B	16/06/2022	NT	MR	For CGI Coordination
C	17/06/2022	NT	MR	For DA Coordination
D	28/06/2022	NT	MR	Draft DA
E	1/07/2022	NT	MR/SO	Draft DA

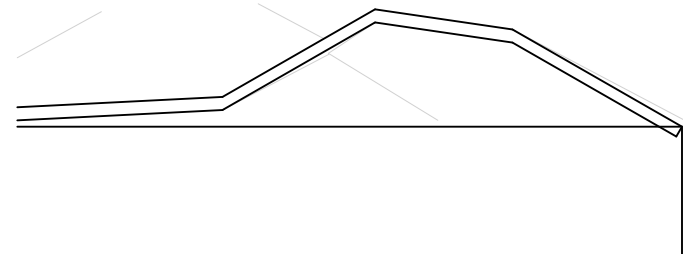
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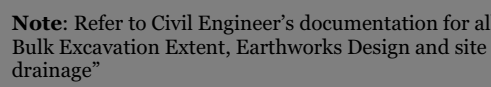
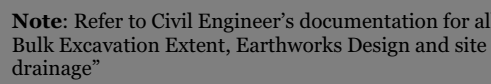


Project Name	Thredbo - Lot 768
Project Address	Diggings Terrace, Thredbo, NSW 2625
Client	Le Hunte Properties

Project Number	12656
Drawing Name	Elevations - Sheet 1
Scale	1:200 @ A1
Date	June 2022
Drawing Number	DA300
Revision	E

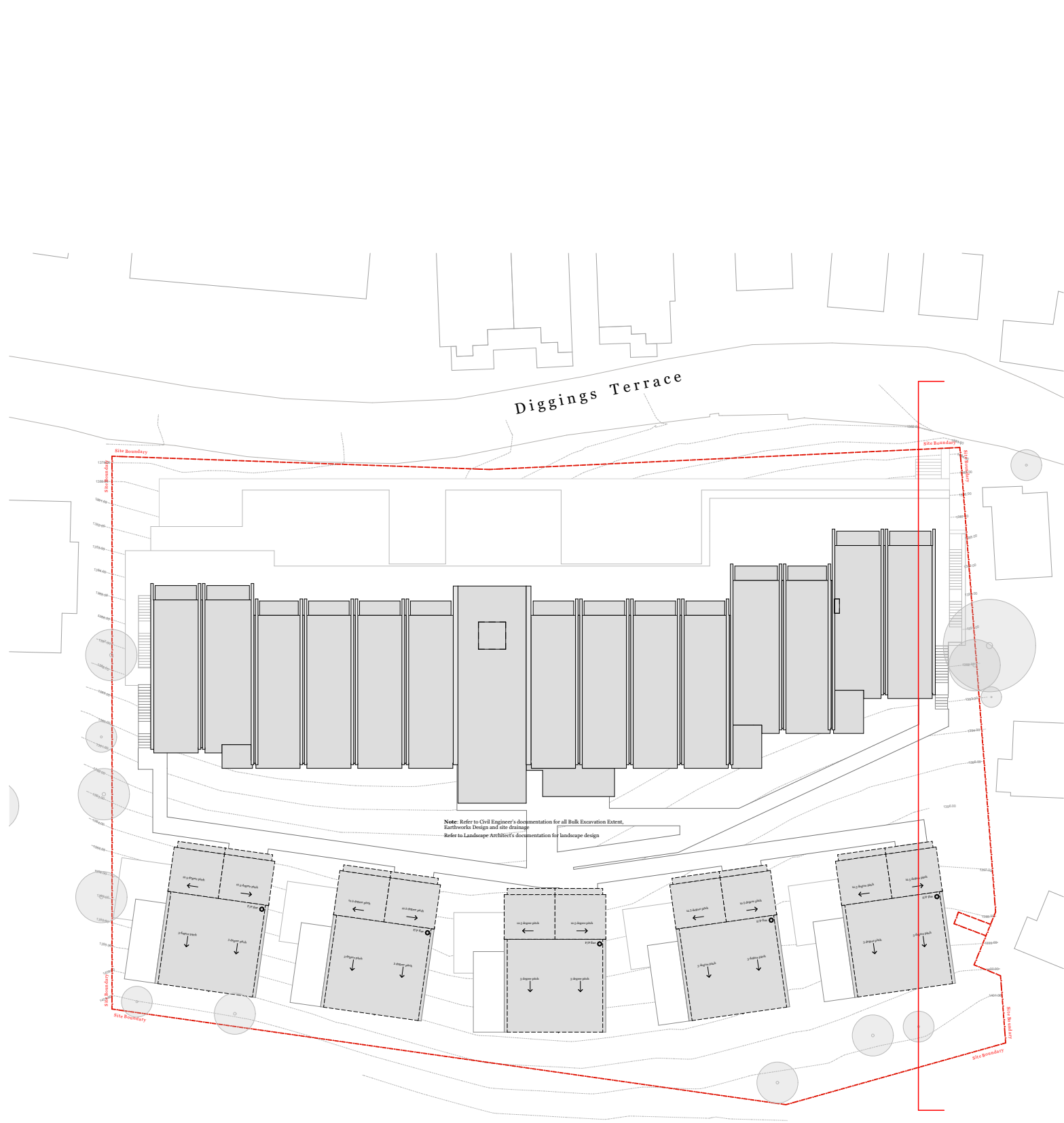


A 3D diagram of a rectangular prism. The front face is a rectangle with a red dashed diagonal line running from the bottom-left corner to the top-right corner. The prism is shown in a perspective view, with the top and right faces also visible.

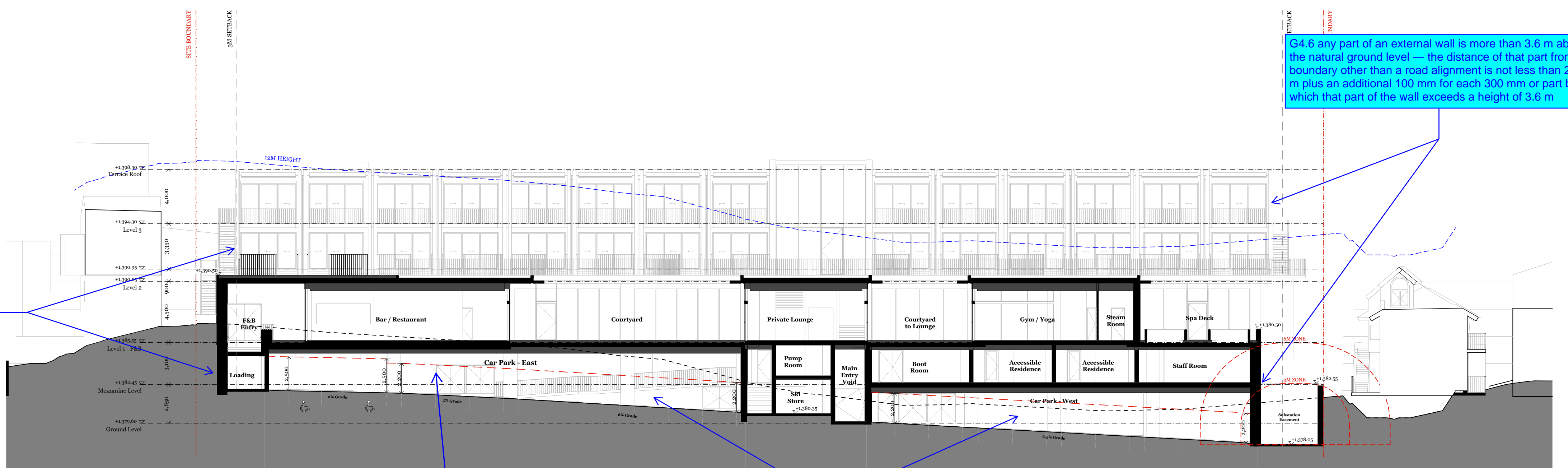


Ensure min 2200mm clearance is achieved throughout all car park spaces particularly below the mechanical ductwork and beams.

Project Number	12656
Drawing Name	Sections - Sheet 1
Scale	1:200 @ A1
Date	June 2022
Drawing Number	DA303
Revision	H



SECTION 5



Ensure minimum 2500mm clearance is provided above all accessible car park spaces. Sprinkler pipes and lights to be reviewed by service consultant and architects.

Ensure min 2200mm clearance is achieved throughout all car park spaces particularly below the mechanical ductwork and beams.

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Rev.	Date	By	Ckd	Description
D	14/05/2022	NT	MR/SO	For DA Coordination
E	16/06/2022	NT	MR	For CGI Coordination
F	17/06/2022	NT	MR	For DA Coordination
G	28/06/2022	NT	MR	Draft DA
H	1/07/2022	NT	MR/SO	Draft DA

NOTES
ALL WORKS TO BE IN ACCORDANCE WITH AUTHORITY & STATUTORY APPROVALS.
ALL BOUNDARY INFORMATION TO BE CONFIRMED BY REGISTERED SURVEYOR BEFORE COMMENCING WORKS ON SITE.
REFER TO SITE SURVEY FOR ALL INFORMATION RELATING TO EXISTING SITE CONDITIONS.
REFER TO LANDSCAPE ARCHITECT'S DOCUMENTATION & ARBORIST REPORTS FOR ALL INFORMATION RELATING TO TREES AND THEIR RETENTION/REMOVAL

AND NEW LANDSCAPE WORKS.
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE FOLLOWING:
- ALL SPECIFICATIONS & SCHEDULES
- ALL SPECIALIST CONSULTANTS' DOCUMENTATION
- BASIX, NATHERS & SECTION J CERTIFICATES
MINOR CHANGES TO FORM & CONFIGURATION MAY BE REQUIRED AFTER DEVELOPMENT CONSENT WHEN DRAWINGS ARE PREPARED FOR CONSTRUCTION PURPOSES.

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DKO

Project Name
Project Address
Client
Thredbo - Lot 768
Digging Terrace,
Thredbo, NSW 2625
Le Hunte Properties

Project Number
Drawing Name
Scale
Date
Drawing Number
Revision
12656
Sections - Sheet 3
1:200 @ A1
June 2022
DA305
H